

BUILDING NO. A		BUILDING NO. B		BUILDING NO. C		BUILDING NO. D		BUILDING NO. E		BUILDING NO. F		BUILDING NO. G		BUILDING NO. H		BUILDING NO. I		BUILDING NO. J		BUILDING NO. K		BUILDING NO. L			
1ST FLOOR	2ND FLOOR	1ST FLOOR	2ND FLOOR	1ST FLOOR	2ND FLOOR	1ST FLOOR	2ND FLOOR	1ST FLOOR	2ND FLOOR	1ST FLOOR	2ND FLOOR	1ST FLOOR	2ND FLOOR	1ST FLOOR	2ND FLOOR	1ST FLOOR	2ND FLOOR	1ST FLOOR	2ND FLOOR	1ST FLOOR	2ND FLOOR	1ST FLOOR	2ND FLOOR		
688.1	688.1	688.1	688.1	688.1	688.1	688.1	688.1	688.1	688.1	688.1	688.1	688.1	688.1	688.1	688.1	688.1	688.1	688.1	688.1	688.1	688.1	688.1	688.1	688.1	
660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	
660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	
660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	660.2	
688.1	688.1	688.1	688.1	688.1	688.1	688.1	688.1	688.1	688.1	688.1	688.1	688.1	688.1	688.1	688.1	688.1	688.1	688.1	688.1	688.1	688.1	688.1	688.1	688.1	
4,017.00	4,017.00	4,017.00	4,017.00	4,017.00	4,017.00	4,017.00	4,017.00	4,017.00	4,017.00	4,017.00	4,017.00	4,017.00	4,017.00	4,017.00	4,017.00	4,017.00	4,017.00	4,017.00	4,017.00	4,017.00	4,017.00	4,017.00	4,017.00	4,017.00	
TOTAL BUILDING AREA		TOTAL BUILDING AREA		TOTAL BUILDING AREA		TOTAL BUILDING AREA		TOTAL BUILDING AREA		TOTAL BUILDING AREA		TOTAL BUILDING AREA		TOTAL BUILDING AREA		TOTAL BUILDING AREA		TOTAL BUILDING AREA		TOTAL BUILDING AREA		TOTAL BUILDING AREA		TOTAL BUILDING AREA	
8,314.00		8,314.00		8,314.00		8,314.00		8,314.00		8,314.00		8,314.00		8,314.00		8,314.00		8,314.00		8,314.00		8,314.00		8,314.00	
NO. OF UNITS		NO. OF UNITS		NO. OF UNITS		NO. OF UNITS		NO. OF UNITS		NO. OF UNITS		NO. OF UNITS		NO. OF UNITS		NO. OF UNITS		NO. OF UNITS		NO. OF UNITS		NO. OF UNITS		NO. OF UNITS	
8		8		8		8		8		8		8		8		8		8		8		8		8	
TOTAL AREA		TOTAL AREA		TOTAL AREA		TOTAL AREA		TOTAL AREA		TOTAL AREA		TOTAL AREA		TOTAL AREA		TOTAL AREA		TOTAL AREA		TOTAL AREA		TOTAL AREA		TOTAL AREA	
8,314.00		8,314.00		8,314.00		8,314.00		8,314.00		8,314.00		8,314.00		8,314.00		8,314.00		8,314.00		8,314.00		8,314.00		8,314.00	
TOTAL WALK WAY		TOTAL WALK WAY		TOTAL WALK WAY		TOTAL WALK WAY		TOTAL WALK WAY		TOTAL WALK WAY		TOTAL WALK WAY		TOTAL WALK WAY		TOTAL WALK WAY		TOTAL WALK WAY		TOTAL WALK WAY		TOTAL WALK WAY		TOTAL WALK WAY	
3278.14		3278.14		3278.14		3278.14		3278.14		3278.14		3278.14		3278.14		3278.14		3278.14		3278.14		3278.14		3278.14	
TOTAL		TOTAL		TOTAL		TOTAL		TOTAL		TOTAL		TOTAL		TOTAL		TOTAL		TOTAL		TOTAL		TOTAL		TOTAL	
18,708.80		18,708.80		12,650		36		39,677.60																	

**GENERAL SITE NOTES**

- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE STARTING ANY WORK.
- NOT BE CLEARLY INDICATED ON THE DRAWINGS.
- ALL WORK SHALL BE DONE IN A MANNER TO MEET THE LOCAL REQUIREMENTS.
- ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO PREVENT INJURY OR ACCIDENT TO ANYONE ON SITE.
- ALL DRAWINGS MUST BE READ IN CONJUNCTION WITH EACH OTHER.
- THE CONTRACTOR SHALL CHECK ALL DIMENSIONS BEFORE AND DURING CONSTRUCTION AND ANY DISCREPANCY FOUND MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- DIMENSIONS SHOWN MUST BE USED IN PREFERENCE TO SCALED DIMENSION.
- ALL WINDOWS ADJACENT TO DOORS OR BATH TUBS SHALL BE TEMPERED SAFETY GLAZING AS PER SECTION 2405 OF LOCAL BUILDING CODE.
- BEDROOM EGRESS WINDOWS SHALL BE USED WHERE APPLICABLE AND SHALL MEET MINIMUM CLEARANCES AS PER SECTION 1005.4 OF LOCAL BUILDING CODE.

**STAMPING AREA:**

DATE: \_\_\_\_\_

SCALE: AS SHOWN

DRAWN: A. BERRY

JOB NO.: \_\_\_\_\_

SHEET NO.: A-101

OF ARCH. SHEETS

**PROJECT :**  
PROPOSED APARTMENTS/TOWNHOUSES FOR EMERALD POINT DEVELOPMENT LOCATED ON BLOCK 4E PARCEL #769, 770 & 771 (WEST BAY NORTH WEST).

**SHEET CONTENT :**  
VICINITY MAP AND SITE PLAN.

**THIS DRAWING IS THE PROPERTY OF ISLAND DRAFTING ENGINEERING AND ARCHITECTURAL LTD. ANY USE AND / OR REPRODUCTION OF THESE DRAWINGS WITHOUT WRITTEN PERMISSION FROM THE COMPANY IS LEGALLY PROHIBITED. ARCHITECTURAL DRAWINGS ARE TO BE READ ALONG WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND OTHER DRAWINGS AS MAY BE APPLICABLE. DIMENSIONS, LEVEL AND DATUMS GIVEN MUST BE VERIFIED BY THE CONTRACTOR BEFORE AND DURING CONSTRUCTION, AND ANY DISCREPANCIES NOTED ARE TO BE REPORTED TO THE COMPANY. DIMENSIONS SHOWN TAKE PRECEDENCE OVER SCALED DIMENSIONS.**

**GENERAL NOTES**

1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE STARTING ANY WORK.

2. NOT BE CLEARLY INDICATED ON THE DRAWINGS.

3. ALL WORK SHALL BE DONE IN A MANNER TO MEET THE LOCAL REQUIREMENTS.

4. ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO PREVENT INJURY OR ACCIDENT TO ANYONE ON SITE.

5. ALL DRAWINGS MUST BE READ IN CONJUNCTION WITH EACH OTHER.

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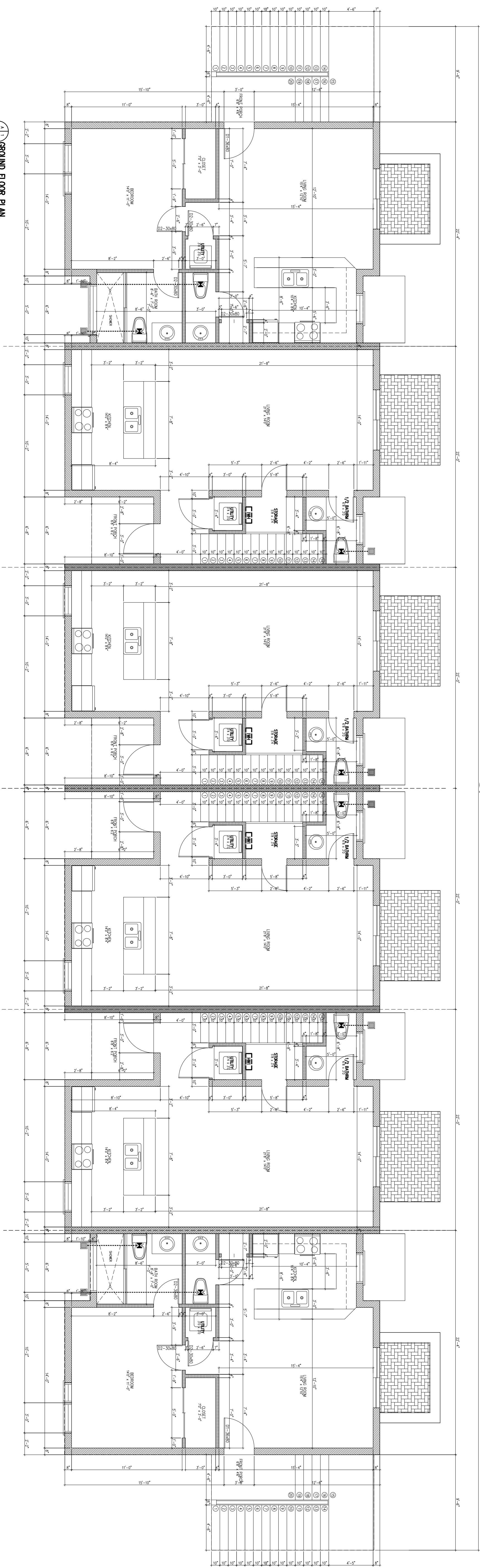
**ISLAND DRAFTING**  
ENGINEERING AND ARCHITECTURAL LTD

CAYMAN BUSINESS PARK, BUILDING C UNIT C-2  
TELEPHONE: 949-2664  
FACSIMILE: 945-2179  
E-MAIL: ISLDRAFT@CANDW.KY  
PO BOX 80, BODDEN TOWN

REVISIONS: \_\_\_\_\_ BY: \_\_\_\_\_

Z:\Nions Development B4E P#769A-101 Site Plan.dwg Nions Apts.dwg 2/24/2021 5:22:07 PM





**1 GROUND FLOOR PLAN**  
 DATE: 20/09/2020  
 DRAWN BY: A. BERRY  
 CHECKED BY: A. BERRY  
 SCALE: AS SHOWN

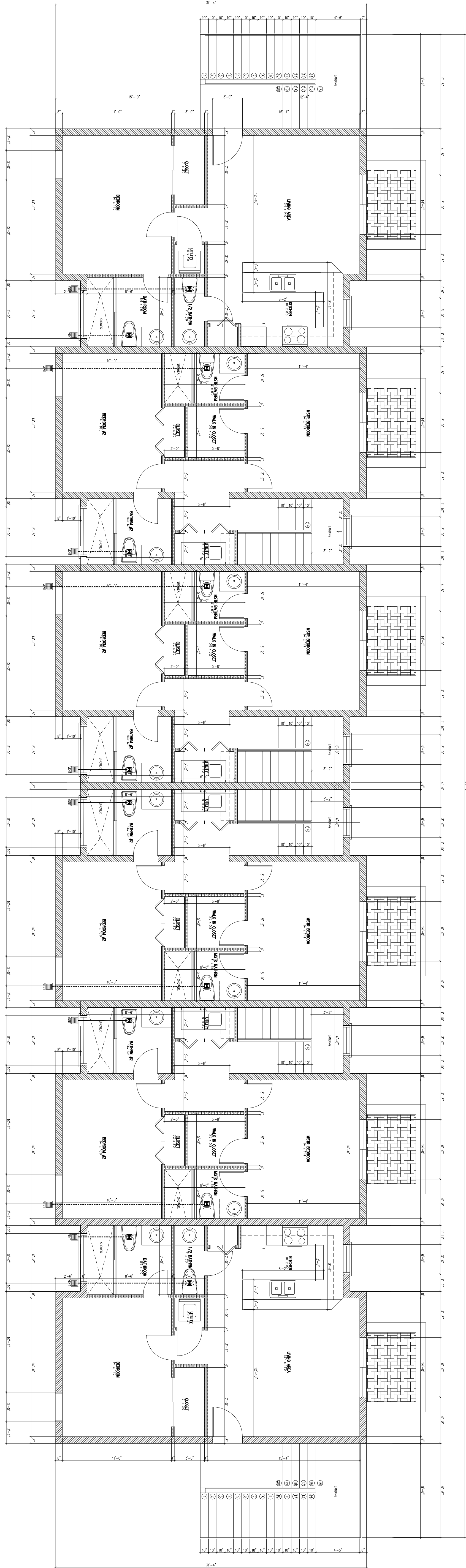
**STAMPING AREA:**

I HEREBY CERTIFY THAT ALL DIMENSIONS SHOWN ON THIS PLAN ARE CORRECT.  
 Signature: *Arnold T. Berry*  
 Address: 80, GRAND CAYMAN, KY-1-801.

<p><b>DATE:</b> _____</p> <p><b>SCALE:</b> AS SHOWN</p> <p><b>DRAWN:</b> A. BERRY</p> <p><b>JOB NO.:</b> _____</p> <p><b>SHEET NO.:</b> A-102</p> <p>OF ARCHT. SHEETS</p>	<p><b>PROJECT :</b>          PROPOSED APARTMENTS/TOWNHOUSES FOR EMERALD POINT DEVELOPMENT LOCATED ON BLOCK 4E PARCEL #769, 770 &amp; 771 (WEST BAY NORTH WEST).</p> <p><b>SHEET CONTENT :</b>          GROUND FLOOR PLAN. BUILDING A,B,D &amp; E.</p>	<p><small>THIS DRAWING IS THE PROPERTY OF ISLAND DRAFTING ENGINEERING AND ARCHITECTURAL LTD. ANY USE AND / OR REPRODUCTION OF THESE DRAWINGS WITHOUT PRIOR WRITTEN PERMISSION FROM THE COMPANY IS ILLEGAL. ARCHITECTURAL DRAWINGS ARE TO BE READ ALONG WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND OTHER DRAWINGS AS MAY BE APPLICABLE. DIMENSIONS, LEVEL AND DATINGS GIVEN MUST BE VERIFIED BY THE CONTRACTOR BEFORE AND DURING CONSTRUCTION, AND ANY DISCREPANCIES NOTED ARE TO BE REPORTED TO THE COMPANY. DIMENSIONS SHOWN TAKE PRECEDENCE OVER SCALED DIMENSIONS.</small></p> <p><b>GENERAL NOTES</b></p> <ol style="list-style-type: none"> <li>1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE STARTING ANY WORK.</li> <li>2. THE CONTRACTOR SHALL CONTACT THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK THAT MAY NOT BE CLEARLY INDICATED ON THE DRAWINGS.</li> <li>3. ALL WORK SHALL BE DONE IN A MANNER TO MEET THE LOCAL REQUIREMENTS.</li> <li>4. ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO PREVENT INJURY OR ACCIDENT TO ANYONE ON SITE.</li> <li>5. ALL DRAWINGS MUST BE READ IN CONJUNCTION WITH EACH OTHER.</li> <li>6. THE CONTRACTOR SHALL CHECK ALL DIMENSIONS BEFORE AND DURING CONSTRUCTION AND ANY DISCREPANCY FOUND MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY.</li> <li>7. DIMENSIONS SHOWN MUST BE USED IN PREFERENCE TO SCALED DIMENSION.</li> <li>8. ALL WINDOWS ADJACENT TO DOORS OR BATH TUBS SHALL BE TEMPERED SAFETY GLAZING AS PER SECTION 2405 OF LOCAL BUILDING CODE.</li> <li>9. BEDROOM EGRESS WINDOWS SHALL BE USED WHERE APPLICABLE AND SHALL MEET MINIMUM CLEARANCES AS PER SECTION 1005.4 OF LOCAL BUILDING CODE.</li> </ol>	<p><b>ISLAND DRAFTING</b>          ENGINEERING AND ARCHITECTURAL LTD</p> <p>CAYMAN BUSINESS PARK, BUILDING C UNIT C-2  <b>TELEPHONE: 949-2664</b>  <b>FACSIMILE: 945-2179</b>          E-MAIL: ISLDRAFT@CANDW.KY          PO BOX 80, BODDEN TOWN</p>	<p>REVISIONS</p> <table border="1"> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </table> <p>BY</p>						

**A1 SECOND FLOOR PLAN**

SCALE: 1/8" = 1'-0"  
 SHEET NO. A-103  
 DATE: 2/16/2021



STAMPING AREA:

I HEREBY CERTIFY THAT ALL DIMENSIONS SHOWN ON THIS PLAN ARE CORRECT.  
 Signature: *Arnold I. Berry*  
 Address: 80, GRAND CAYMAN, KY-1-6911.

**PROJECT :**  
 PROPOSED APARTMENTS/TOWNHOUSES FOR  
 EMERALD POINT DEVELOPMENT  
 LOCATED ON BLOCK 4E PARCEL #769, 770 & 771  
 (WEST BAY NORTH WEST).

**SHEET CONTENT :**  
 SECOND FLOOR PLAN,  
 BUILDING A,B,D & E.

THIS DRAWING IS THE PROPERTY OF ISLAND DRAFTING ENGINEERING AND ARCHITECTURAL LTD. ANY USE AND / OR REPRODUCTION OF THESE DRAWINGS WITHOUT PRIOR WRITTEN PERMISSION FROM THE COMPANY IS ILLEGAL. ARCHITECTURAL DRAWINGS ARE TO BE READ ALONG WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND OTHER DRAWINGS AS MAY BE APPLICABLE. DIMENSIONS, LEVEL AND DATINGS GIVEN MUST BE VERIFIED BY THE CONTRACTOR BEFORE AND DURING CONSTRUCTION, AND ANY DISCREPANCIES NOTED ARE TO BE REPORTED TO THE COMPANY. DIMENSIONS SHOWN TAKE PRECEDENCE OVER SCALED DIMENSIONS.

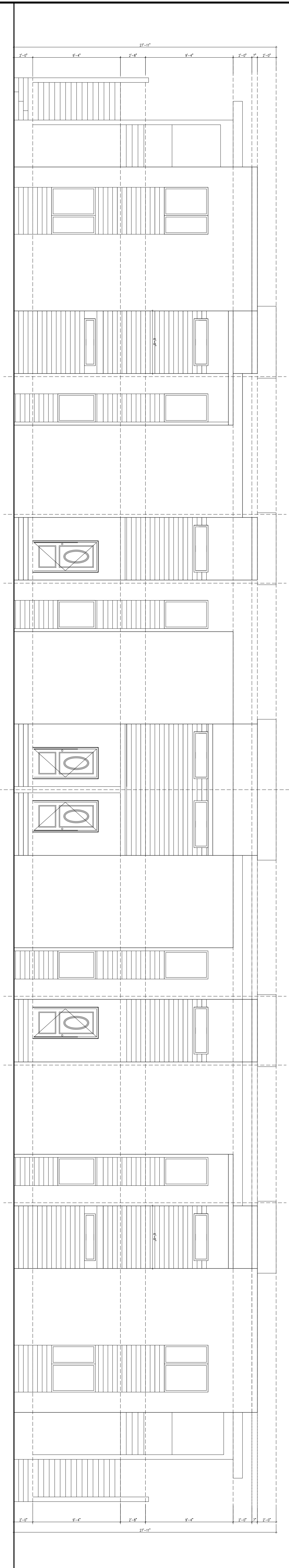
- GENERAL NOTES**
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  2. THE CONTRACTOR SHALL CONTACT THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK THAT MAY NOT BE CLEARLY INDICATED ON THE DRAWINGS.
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  8. ALL WINDOWS ADJACENT TO DOORS OR BATH TUBS SHALL BE TEMPERED SAFETY GLAZING AS PER SECTION 2405 OF LOCAL BUILDING CODE.
  9. BEDROOM EGRESS WINDOWS SHALL BE USED WHERE APPLICABLE AND SHALL MEET MINIMUM CLEARANCES AS PER SECTION 1005.4 OF LOCAL BUILDING CODE.



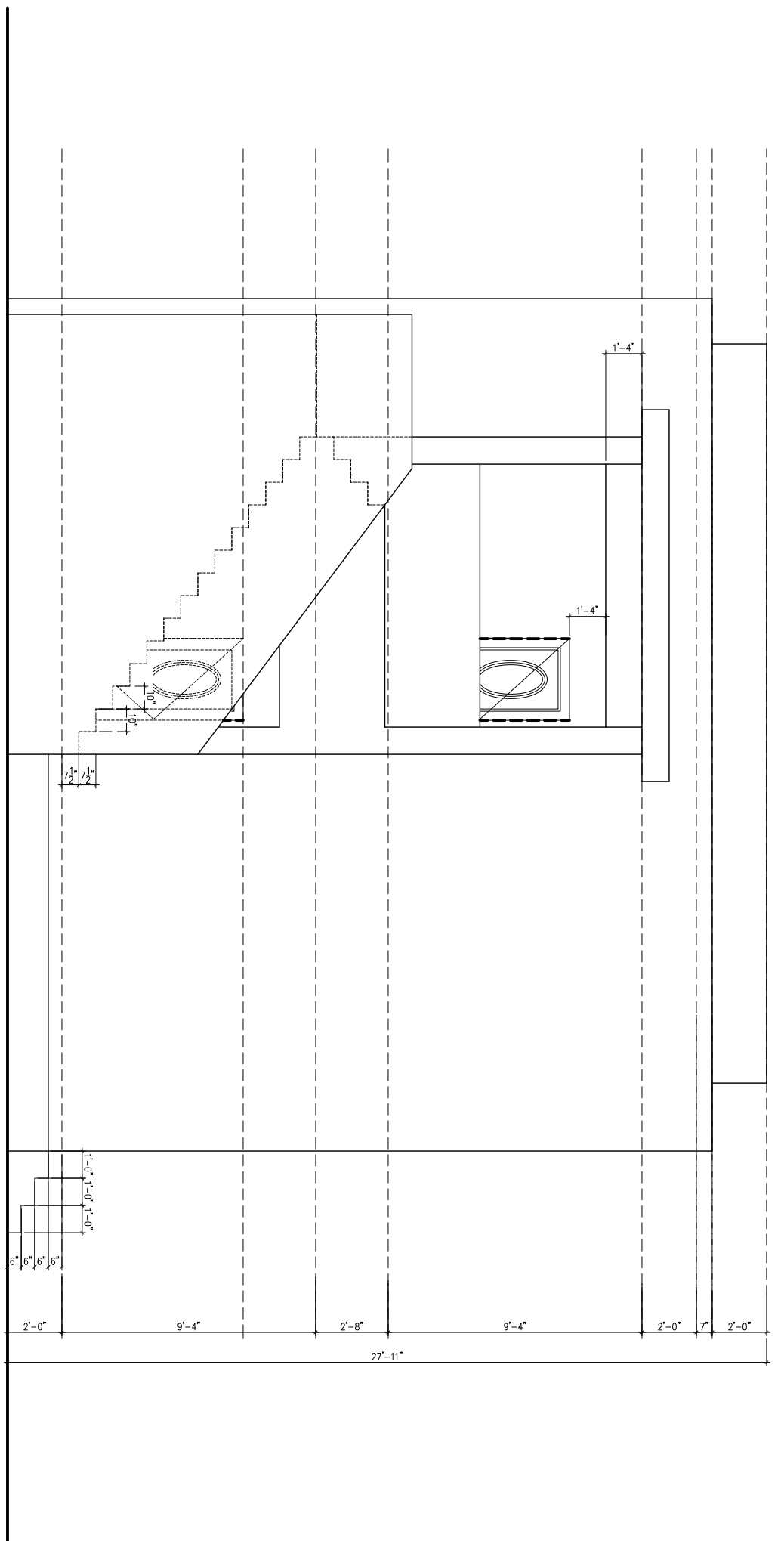
CAYMAN BUSINESS PARK, BUILDING C UNIT C-2  
**TELEPHONE: 949-2664**  
**FACSIMILE: 945-2179**  
 E-MAIL: ISLDRAFT@CANDW.KY  
 PO BOX 80, BODDEN TOWN

REVISIONS  
 BY

**DATE:**  
 SCALE: AS SHOWN  
**DRAWN:** A. BERRY  
**JOB NO.:**  
**SHEET NO.:** A-103  
 OF ARCHT. SHEETS



1 FRONT ELEVATION

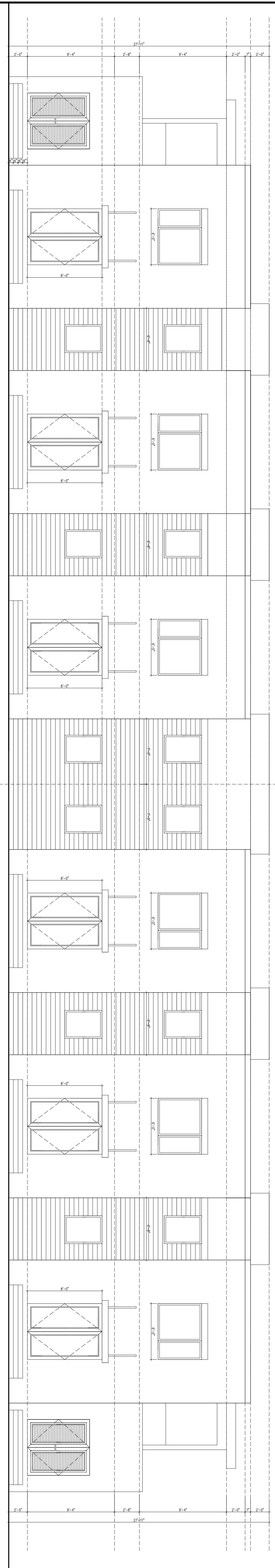


1 LEFT ELEVATION

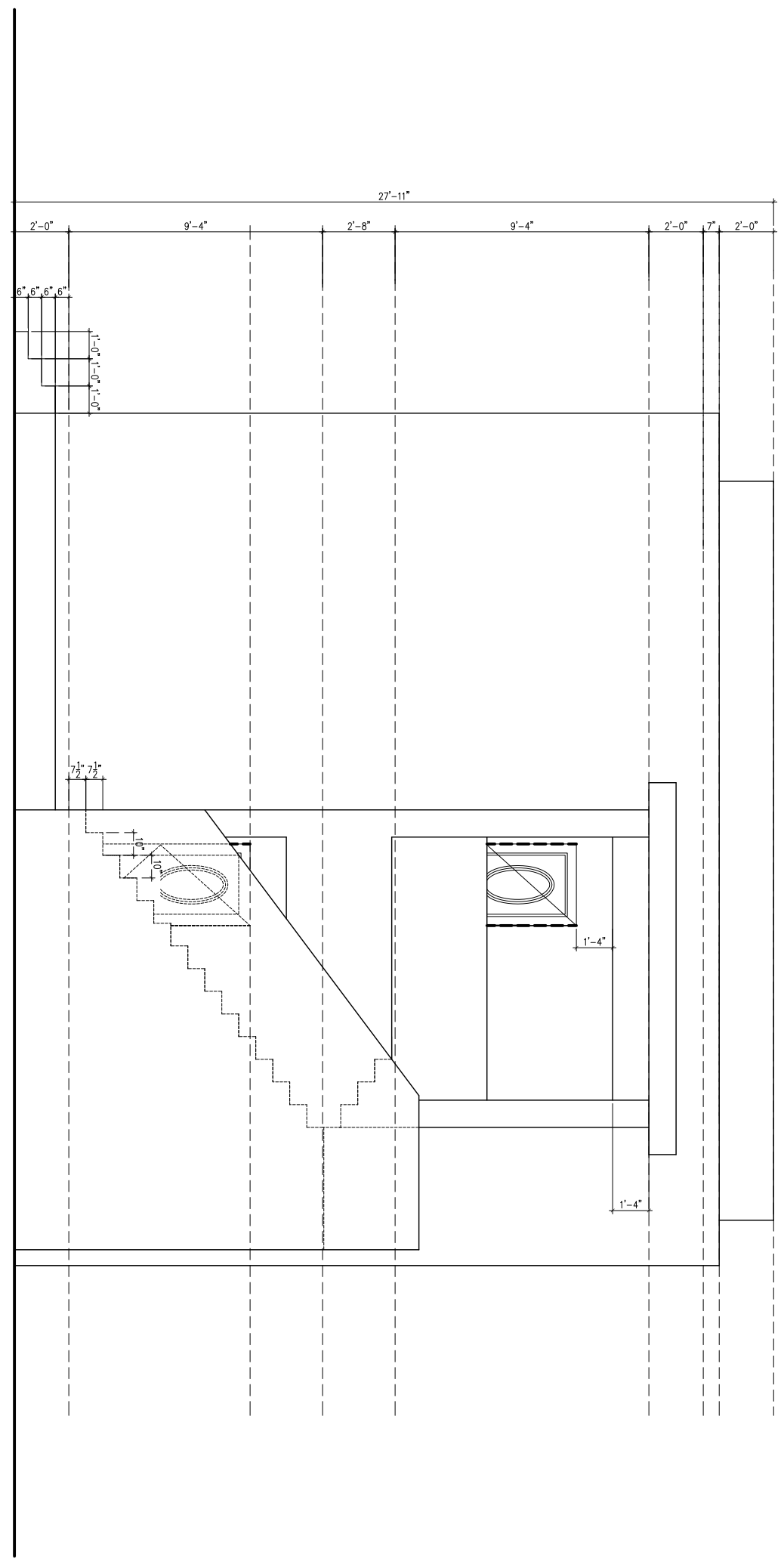
STAMPING AREA:

LIBRARY CENTER THAT ALL DIMENSIONS SHOWN ON THIS PLANS ARE CORRECT.  
 Signature: Arnold I. Berry  
 Address: 80, GRAND CAYMAN, KY-1401.

SHEET NO: A-104 OF ARCHT. SHEETS	JOB NO: DRAWN: A. BERRY	DATE: SCALE: AS SHOWN	<b>PROJECT :</b> PROPOSED APARTMENTS/TOWNHOUSES FOR EMERALD POINT DEVELOPMENT LOCATED ON BLOCK 4E PARCEL #769, 770 & 771 (WEST BAY NORTH WEST).	<b>GENERAL NOTES</b> 1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE STARTING ANY WORK. 2. THE CONTRACTOR SHALL CONTACT THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK THAT MAY NOT BE CLEARLY INDICATED ON THE DRAWINGS. 3. ALL WORK SHALL BE DONE IN A MANNER TO MEET THE LOCAL REQUIREMENTS. 4. ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO PREVENT INJURY OR ACCIDENT TO ANYONE ON SITE. 5. ALL DRAWINGS MUST BE READ IN CONJUNCTION WITH EACH OTHER. 6. THE CONTRACTOR SHALL CHECK ALL DIMENSIONS BEFORE AND DURING CONSTRUCTION AND ANY DISCREPANCY FOUND MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY. 7. DIMENSIONS SHOWN MUST BE USED IN PREFERENCE TO SCALED DIMENSION. 8. ALL WINDOWS ADJACENT TO DOORS OR BATH TUBS SHALL BE TEMPERED SAFETY GLAZING AS PER SECTION 2405 OF LOCAL BUILDING CODE. 9. BEDROOM EGRESS WINDOWS SHALL BE USED WHERE APPLICABLE AND SHALL MEET MINIMUM CLEARANCES AS PER SECTION 1005.4 OF LOCAL BUILDING CODE.	<p>ISLAND DRAFTING ENGINEERING AND ARCHITECTURAL LTD</p>	CAYMAN BUSINESS PARK, BUILDING C UNIT C-2 <b>TELEPHONE: 949-2664</b> <b>FACSIMILE: 945-2179</b> E-MAIL: ISLDRAFT@CANDW.KY PO BOX 80, BODDEN TOWN	REVISIONS	BY
		<b>SHEET CONTENT :</b> FRONT ELEVATION AND LEFT ELEVATION. BUILDING A,B,D & E.	THIS DRAWING IS THE PROPERTY OF ISLAND DRAFTING ENGINEERING AND ARCHITECTURAL LTD. ANY USE AND / OR REPRODUCTION OF THESE DRAWINGS WITHOUT PRIOR WRITTEN PERMISSION FROM THE COMPANY IS ILLEGAL. ARCHITECTURAL DRAWINGS ARE TO BE READ ALONG WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND OTHER DRAWINGS AS MAY BE APPLICABLE. DIMENSIONS, LEVEL AND DATUMS GIVEN MUST BE VERIFIED BY THE CONTRACTOR BEFORE AND DURING CONSTRUCTION, AND ANY DISCREPANCIES NOTED ARE TO BE REPORTED TO THE COMPANY. DIMENSIONS SHOWN TAKE PRECEDENCE OVER SCALED DIMENSIONS.					



REAR ELEVATION

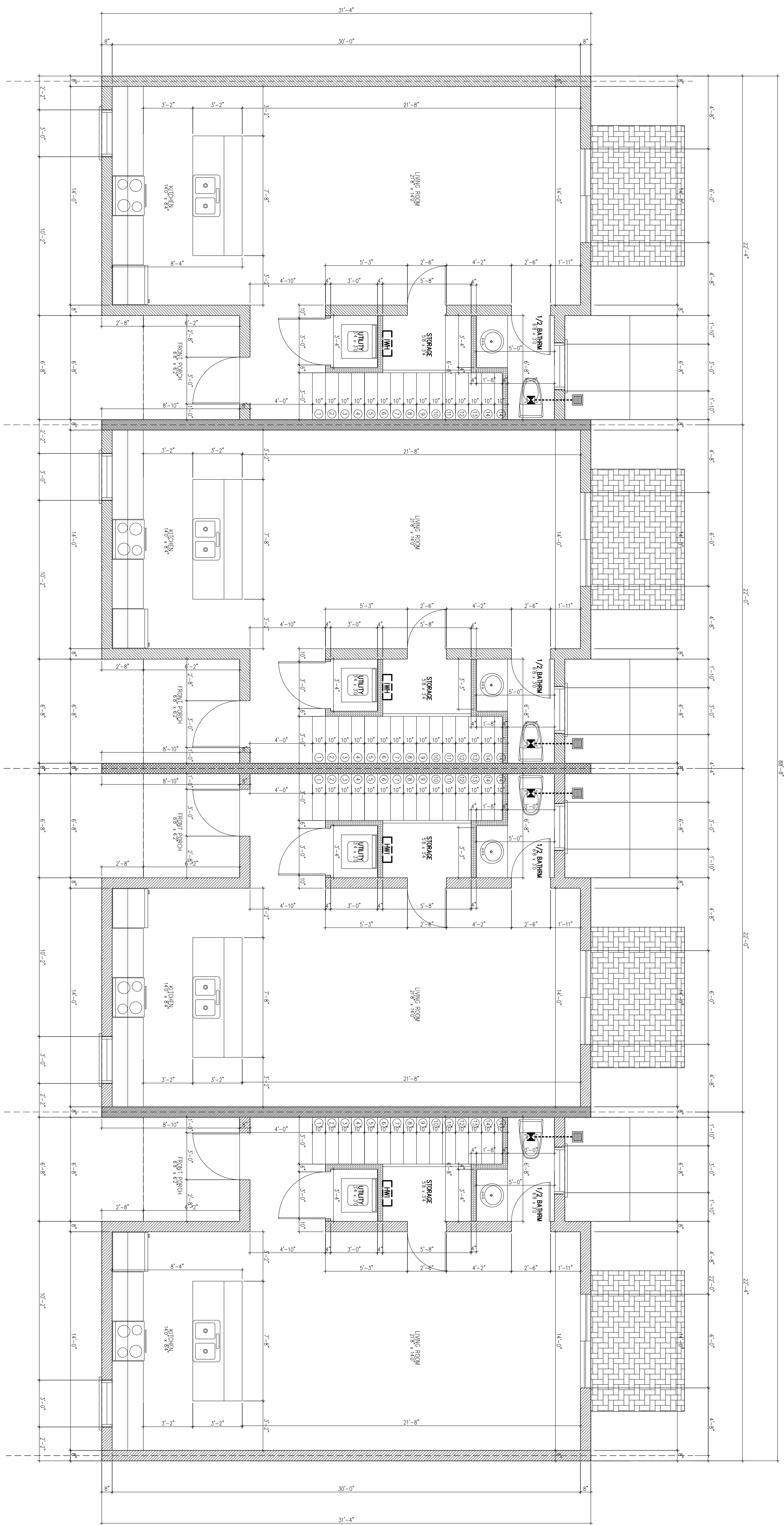


RIGHT ELEVATION

STAMPING AREA:

LIBRARY CENTER THAT ALL DIMENSIONS SHOWN ON THIS PLAN ARE CORRECT.  
 Signature: Arnold I. Berry  
 Address: 80, GRAND CAYMAN, KY-1401L.

SHEET NO.: A-105 OF ARCHT. SHEETS	JOB NO.: DRAWN: A. BERRY	DATE: SCALE: AS SHOWN	<b>PROJECT :</b> PROPOSED APARTMENTS/TOWNHOUSES FOR EMERALD POINT DEVELOPMENT LOCATED ON BLOCK 4E PARCEL #769, 770 & 771 (WEST BAY NORTH WEST).	THIS DRAWING IS THE PROPERTY OF ISLAND DRAFTING ENGINEERING AND ARCHITECTURAL LTD. ANY USE AND / OR REPRODUCTION OF THESE DRAWINGS WITHOUT PRIOR WRITTEN PERMISSION FROM THE COMPANY IS ILLEGAL. ARCHITECTURAL DRAWINGS ARE TO BE READ ALONG WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND OTHER DRAWINGS AS MAY BE APPLICABLE. DIMENSIONS, LEVEL AND DATUMS GIVEN MUST BE VERIFIED BY THE CONTRACTOR BEFORE AND DURING CONSTRUCTION, AND ANY DISCREPANCIES NOTED ARE TO BE REPORTED TO THE COMPANY. DIMENSIONS SHOWN TAKE PRECEDENCE OVER SCALED DIMENSIONS.	<b>GENERAL NOTES</b> 1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE STARTING ANY WORK. 2. THE CONTRACTOR SHALL CONTACT THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK THAT MAY NOT BE CLEARLY INDICATED ON THE DRAWINGS. 3. ALL WORK SHALL BE DONE IN A MANNER TO MEET THE LOCAL REQUIREMENTS. 4. ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO PREVENT INJURY OR ACCIDENT TO ANYONE ON SITE. 5. ALL DRAWINGS MUST BE READ IN CONJUNCTION WITH EACH OTHER. 6. THE CONTRACTOR SHALL CHECK ALL DIMENSIONS BEFORE AND DURING CONSTRUCTION AND ANY DISCREPANCY FOUND MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY. 7. DIMENSIONS SHOWN MUST BE USED IN PREFERENCE TO SCALED DIMENSION. 8. ALL WINDOWS ADJACENT TO DOORS OR BATH TUBS SHALL BE TEMPERED SAFETY GLAZING AS PER SECTION 2405 OF LOCAL BUILDING CODE. 9. BEDROOM EGRESS WINDOWS SHALL BE USED WHERE APPLICABLE AND SHALL MEET MINIMUM CLEARANCES AS PER SECTION 1005.4 OF LOCAL BUILDING CODE.		CAYMAN BUSINESS PARK, BUILDING C UNIT C-2 <b>TELEPHONE: 949-2664</b> <b>FACSIMILE: 945-2179</b> E-MAIL: ISLDRAFT@CANDW.KY PO BOX 80, BODDEN TOWN	REVISIONS	BY
		<b>SHEET CONTENT :</b> REAR ELEVATION AND RIGHT ELEVATION. BUILDING A,B,D & E.	REVISIONS BY						



- 1** GROUND FLOOR PLAN
- SMOKE DETECTOR
  - FIRE EGRESS
  - EMERGENCY EXIT
  - SAFETY GLASS

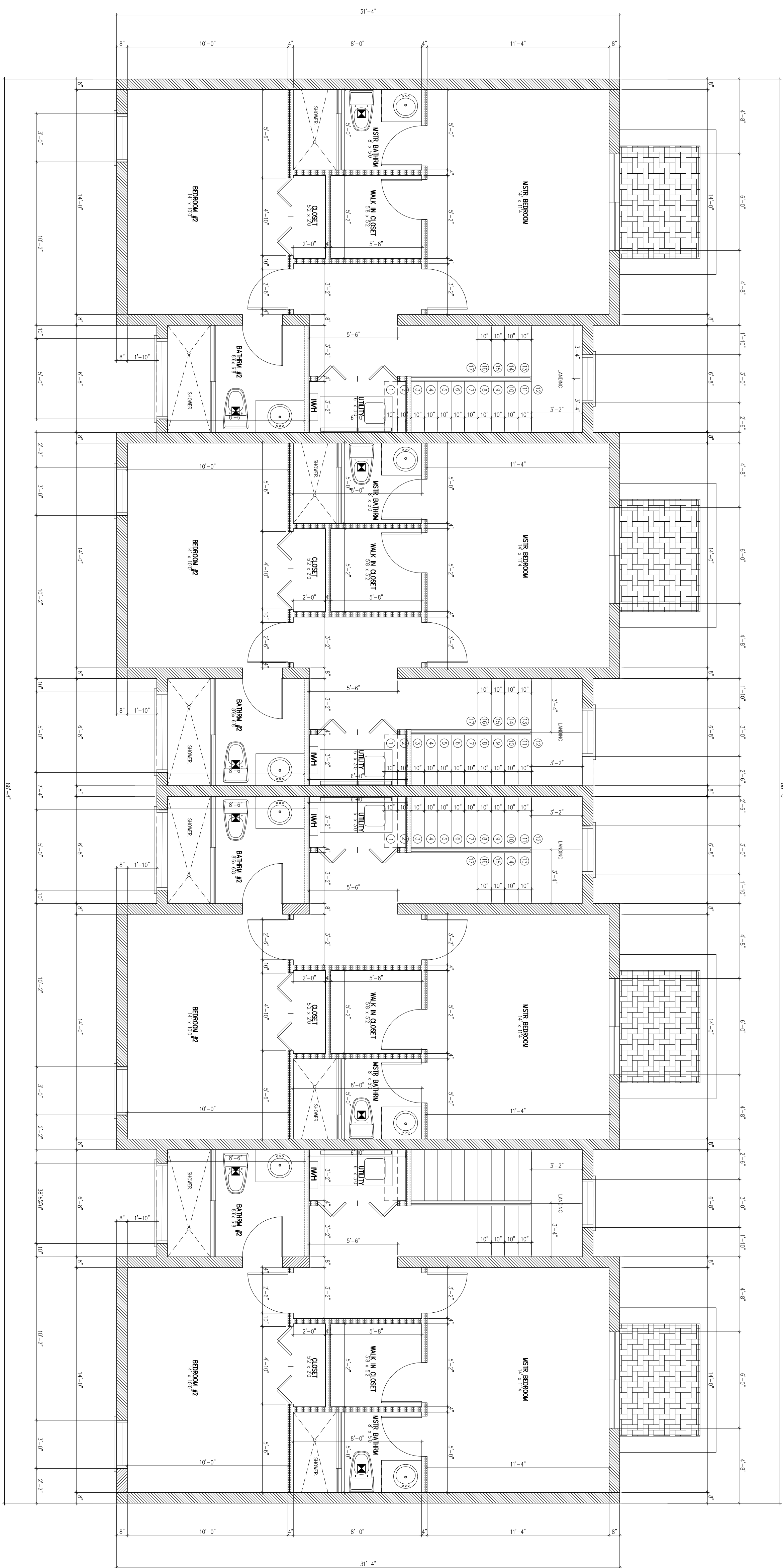
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LIBRARY CENTER THAT ALL DIMENSIONS SHOWN ON THIS PLAN ARE CORRECT.  
 Signature: *Arnold T. Berry*  
 Address: 80, GRAND CAYMAN, KY-1401.

DATE:	PROJECT :	<p>THIS DRAWING IS THE PROPERTY OF ISLAND DRAFTING ENGINEERING AND ARCHITECTURAL LTD. ANY USE AND / OR REPRODUCTION OF THESE DRAWINGS WITHOUT WRITTEN PERMISSION FROM THE COMPANY IS ILLEGAL. ARCHITECTURAL DRAWINGS ARE TO BE READ ALONG WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND OTHER DRAWINGS AS MAY BE APPLICABLE. DIMENSIONS, LEVEL AND DATUMS GIVEN MUST BE VERIFIED BY THE CONTRACTOR BEFORE AND DURING CONSTRUCTION, AND ANY DISCREPANCIES NOTED ARE TO BE REPORTED TO THE COMPANY. DIMENSIONS SHOWN TAKE PRECEDENCE OVER SCALED DIMENSIONS.</p>	<p><b>GENERAL NOTES</b></p> <ol style="list-style-type: none"> <li>THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE STARTING ANY WORK.</li> <li>THE CONTRACTOR SHALL CONTACT THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK THAT MAY NOT BE CLEARLY INDICATED ON THE DRAWINGS.</li> <li>ALL WORK SHALL BE DONE IN A MANNER TO MEET THE LOCAL REQUIREMENTS.</li> <li>ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO PREVENT INJURY OR ACCIDENT TO ANYONE ON SITE.</li> <li>ALL DRAWINGS MUST BE READ IN CONJUNCTION WITH EACH OTHER.</li> <li>THE CONTRACTOR SHALL CHECK ALL DIMENSIONS BEFORE AND DURING CONSTRUCTION AND ANY DISCREPANCY FOUND MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY.</li> <li>DIMENSIONS SHOWN MUST BE USED IN PREFERENCE TO SCALED DIMENSION</li> <li>ALL WINDOWS ADJACENT TO DOORS OR BATH TUBS SHALL BE TEMPERED SAFETY GLAZING AS PER SECTION 2405 OF LOCAL BUILDING CODE.</li> <li>BEDROOM EGRESS WINDOWS SHALL BE USED WHERE APPLICABLE AND SHALL MEET MINIMUM CLEARANCES AS PER SECTION 1005.4 OF LOCAL BUILDING CODE.</li> </ol>	<p>ISLAND DRAFTING ENGINEERING AND ARCHITECTURAL LTD</p>	<p>CAYMAN BUSINESS PARK, BUILDING C UNIT C-2  <b>TELEPHONE: 949-2664</b>  <b>FACSIMILE: 945-2179</b>        E-MAIL: ISLDRAFT@CANDW.KY        PO BOX 80, BODDEN TOWN</p>	REVISIONS	BY
SCALE: AS SHOWN	<p>SHEET CONTENT :</p> <p>GROUND FLOOR PLAN. BUILDING C</p>					OF ARCHT. SHEETS	





**A-1 SECOND FLOOR PLAN**  
 SCALE: 1/4"=1'-0"  
 NAME: ZORRILLO SOUTH

- SMOKE DETECTOR
- EXHAUST FAN
- FIRE EGRESS
- SAFETY GLASS

**STAMPING AREA:**

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**PROJECT :**  
 PROPOSED APARTMENTS/TOWNHOUSES FOR EMERALD POINT DEVELOPMENT LOCATED ON BLOCK 4E PARCEL #769, 770 & 771 ((WEST BAY NORTH WEST).

**SHEET CONTENT :**  
 SECOND FLOOR PLAN, BUILDING C

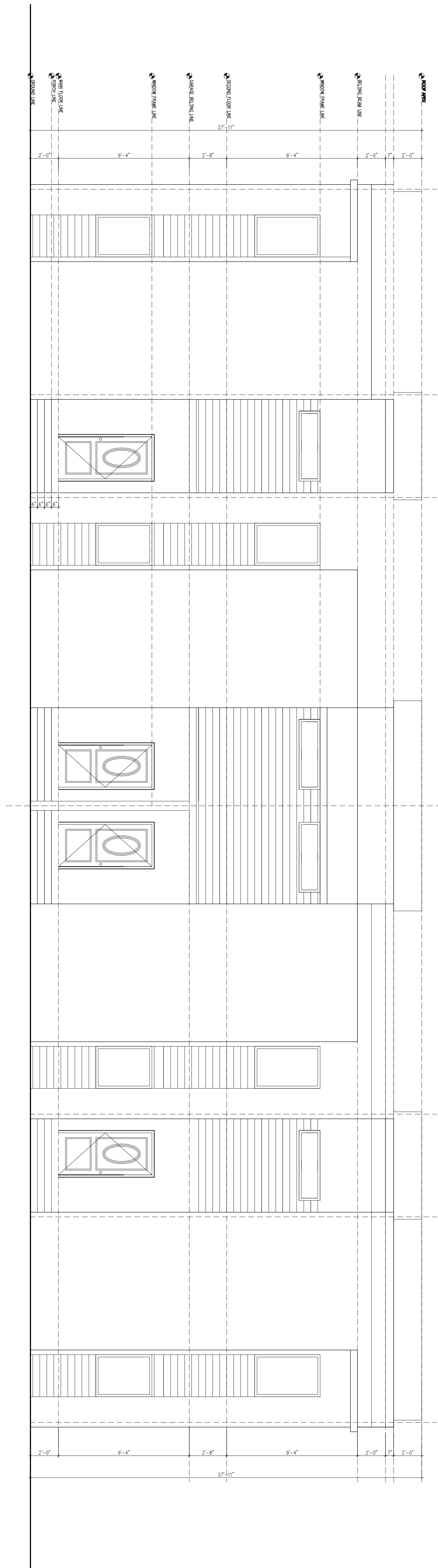
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  2. THE CONTRACTOR SHALL CONTACT THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK THAT MAY NOT BE CLEARLY INDICATED ON THE DRAWINGS.
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  8. ALL WINDOWS ADJACENT TO DOORS OR BATH TUBS SHALL BE TEMPERED SAFETY GLAZING AS PER SECTION 2405 OF LOCAL BUILDING CODE.
  9. BEDROOM EGRESS WINDOWS SHALL BE USED WHERE APPLICABLE AND SHALL MEET MINIMUM CLEARANCES AS PER SECTION 1005.4 OF LOCAL BUILDING CODE.



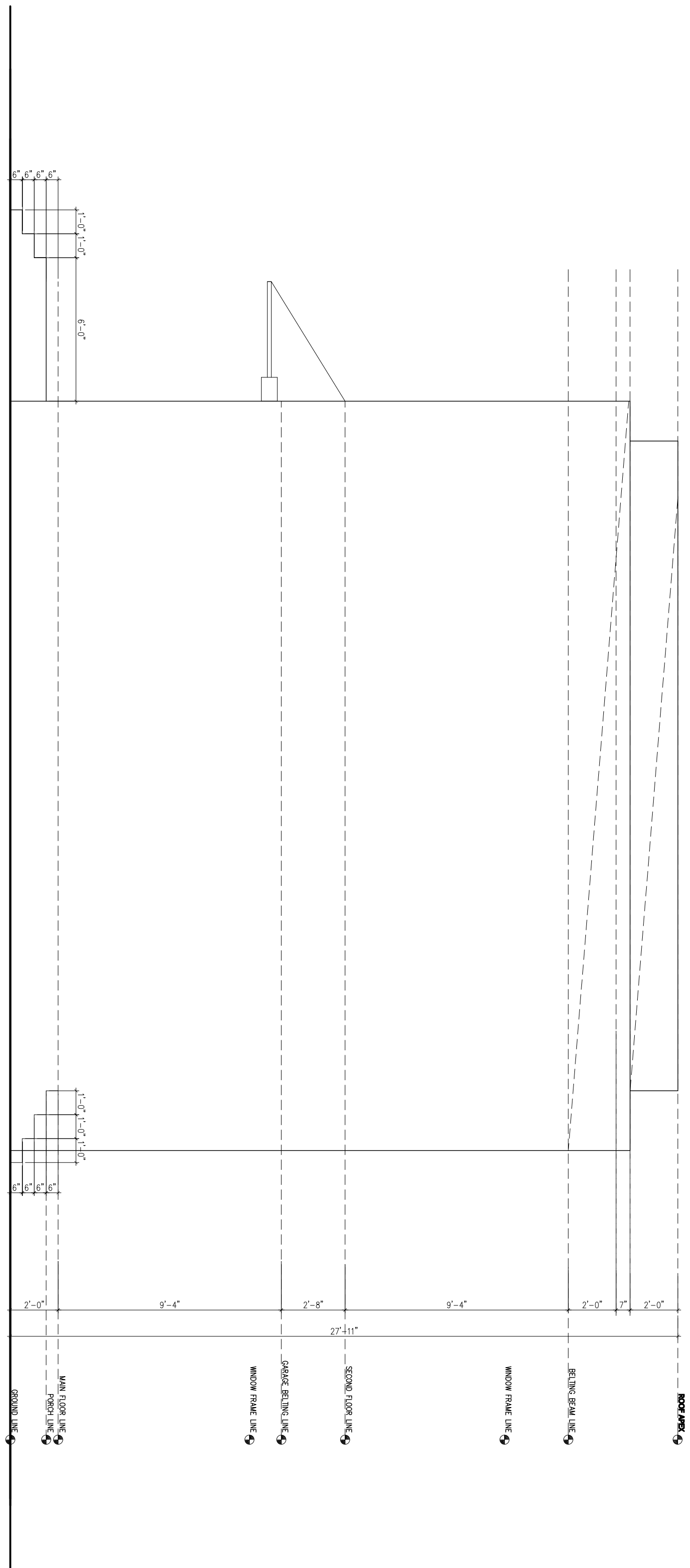
CAYMAN BUSINESS PARK, BUILDING C UNIT C-2  
**TELEPHONE: 949-2664**  
**FACSIMILE: 945-2179**  
 E-MAIL: ISLDRAFT@CANDW.KY  
 PO BOX 80, BODDEN TOWN

REVISIONS BY

**DATE:**  
 SCALE: AS SHOWN  
**DRAWN:** A. BERRY  
**JOB NO.:**  
**SHEET NO.:** A-102  
 OF ARCHT. SHEETS



1.1 FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



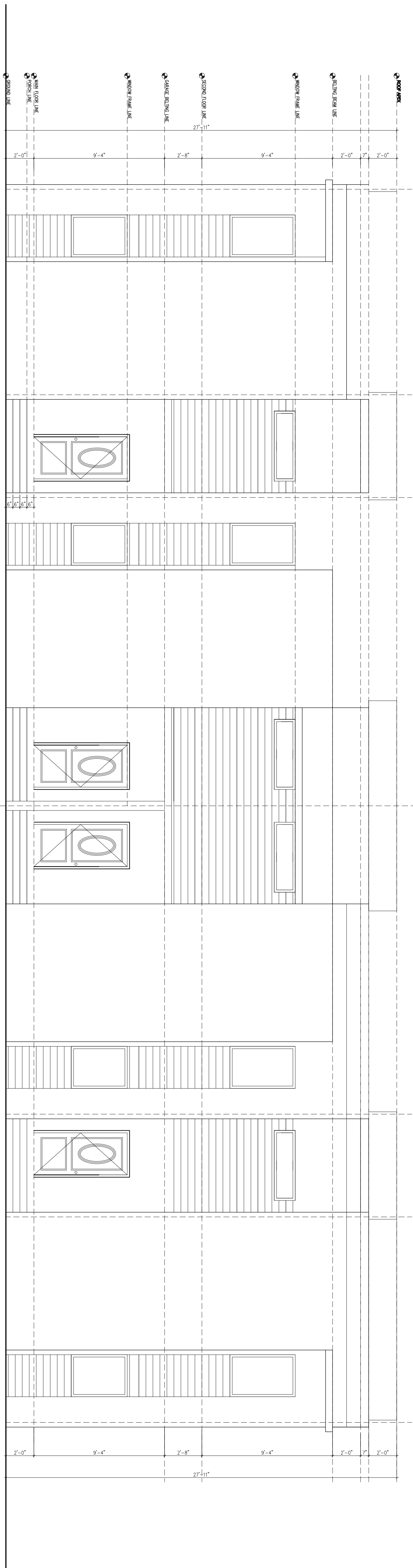
1.1 LEFT ELEVATION  
SCALE: 1/4" = 1'-0"

STAMPING AREA:

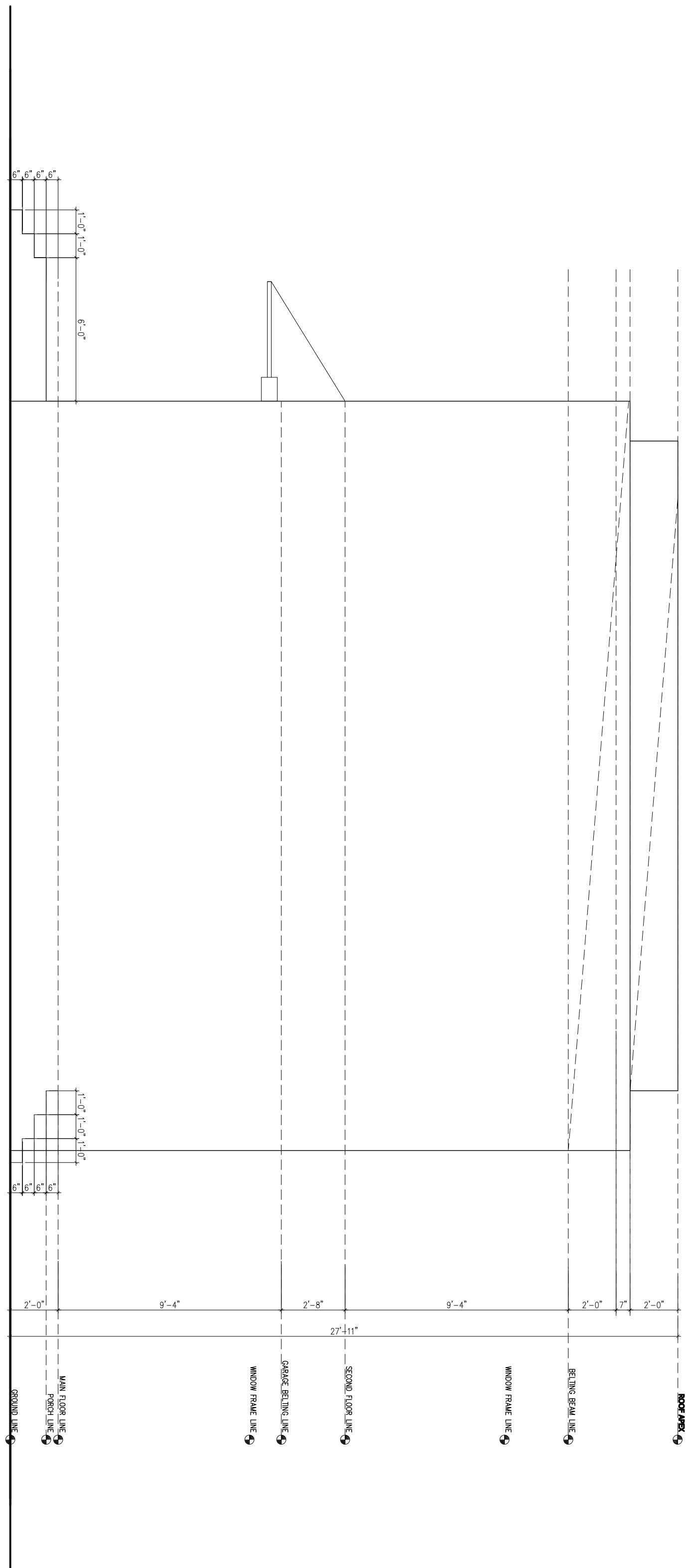
LIBRARY CENTER THAT ALL DIMENSIONS SHOWN ON THIS PLANS ARE CORRECT.  
Signature: Arnold I. Berry  
Address: 80, GRAND CAYMAN, KY-1401.

DATE:	PROJECT :	THIS DRAWING IS THE PROPERTY OF ISLAND DRAFTING ENGINEERING AND ARCHITECTURAL LTD. ANY USE AND / OR REPRODUCTION OF THESE DRAWINGS WITHOUT PRIOR WRITTEN PERMISSION FROM THE COMPANY IS ILLEGAL. ARCHITECTURAL DRAWINGS ARE TO BE READ ALONG WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND OTHER DRAWINGS AS MAY BE APPLICABLE. DIMENSIONS, LEVEL AND DATUMS GIVEN MUST BE VERIFIED BY THE CONTRACTOR BEFORE AND DURING CONSTRUCTION, AND ANY DISCREPANCIES NOTED ARE TO BE REPORTED TO THE COMPANY. DIMENSIONS SHOWN TAKE PRECEDENCE OVER SCALED DIMENSIONS.	<b>GENERAL NOTES</b> 1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE STARTING ANY WORK. 2. THE CONTRACTOR SHALL CONTACT THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK THAT MAY NOT BE CLEARLY INDICATED ON THE DRAWINGS. 3. ALL WORK SHALL BE DONE IN A MANNER TO MEET THE LOCAL REQUIREMENTS. 4. ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO PREVENT INJURY OR ACCIDENT TO ANYONE ON SITE. 5. ALL DRAWINGS MUST BE READ IN CONJUNCTION WITH EACH OTHER. 6. THE CONTRACTOR SHALL CHECK ALL DIMENSIONS BEFORE AND DURING CONSTRUCTION AND ANY DISCREPANCY FOUND MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY. 7. DIMENSIONS SHOWN MUST BE USED IN PREFERENCE TO SCALED DIMENSION. 8. ALL WINDOWS ADJACENT TO DOORS OR BATH TUBS SHALL BE TEMPERED SAFETY GLAZING AS PER SECTION 2405 OF LOCAL BUILDING CODE. 9. BEDROOM EGRESS WINDOWS SHALL BE USED WHERE APPLICABLE AND SHALL MEET MINIMUM CLEARANCES AS PER SECTION 1005.4 OF LOCAL BUILDING CODE.	CAYMAN BUSINESS PARK, BUILDING C UNIT C-2 <b>TELEPHONE: 949-2664</b> <b>FACSIMILE: 945-2179</b> E-MAIL: ISLDRAFT@CANDW.KY PO BOX 80, BODDEN TOWN	REVISIONS
SCALE: AS SHOWN	PROPOSED APARTMENTS/TOWNHOUSES FOR EMERALD POINT DEVELOPMENT LOCATED ON BLOCK 4E PARCEL #769, 770 & 771 (WEST BAY NORTH WEST). <b>SHEET CONTENT :</b> FRONT ELEVATION AND LEFT ELEVATION..				BY
JOB NO.: A-BERRY	DRAWN: A. BERRY				
SHEET NO.: A-101					
OF ARCHT. SHEETS					





1.1 FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

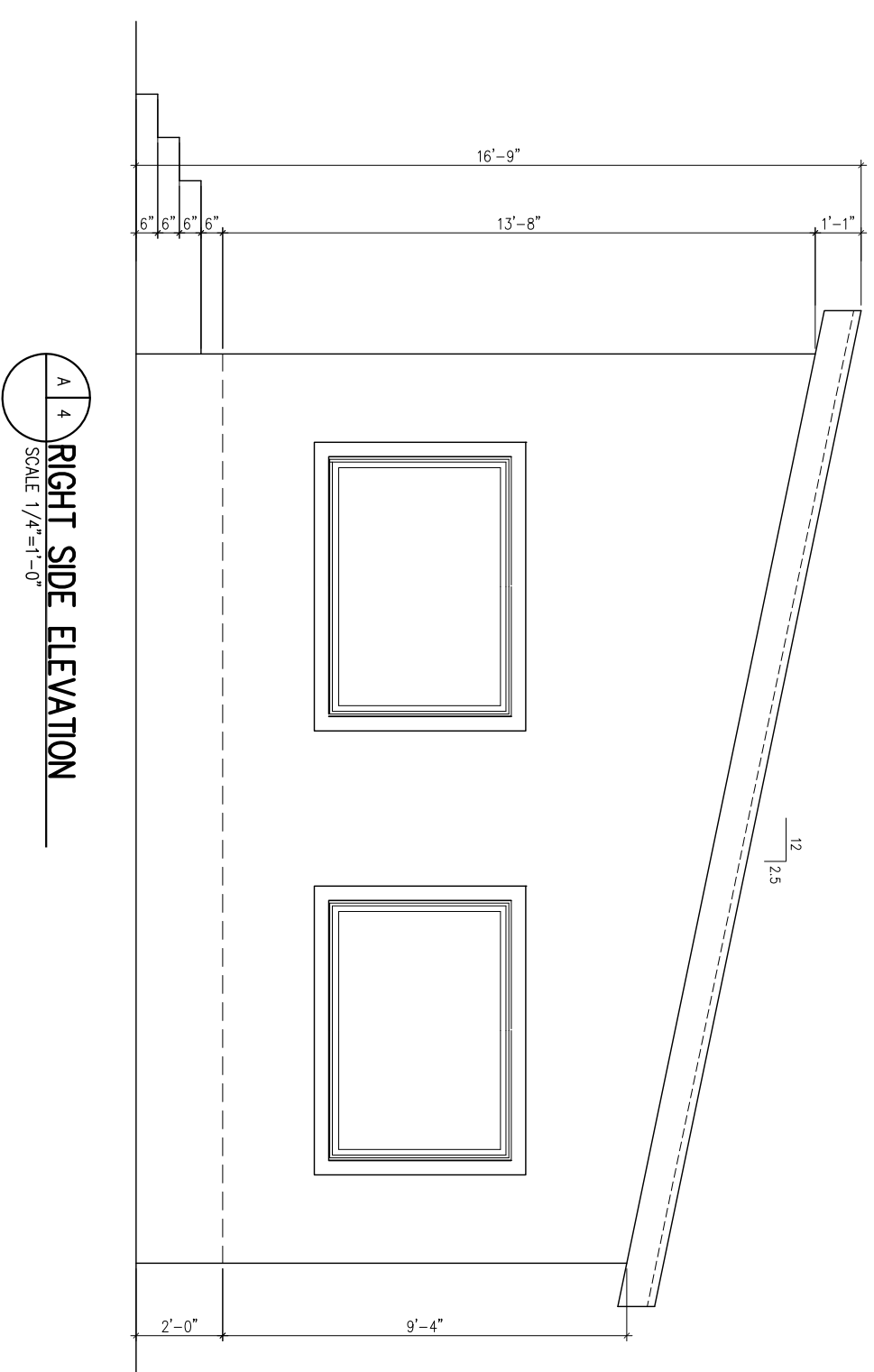
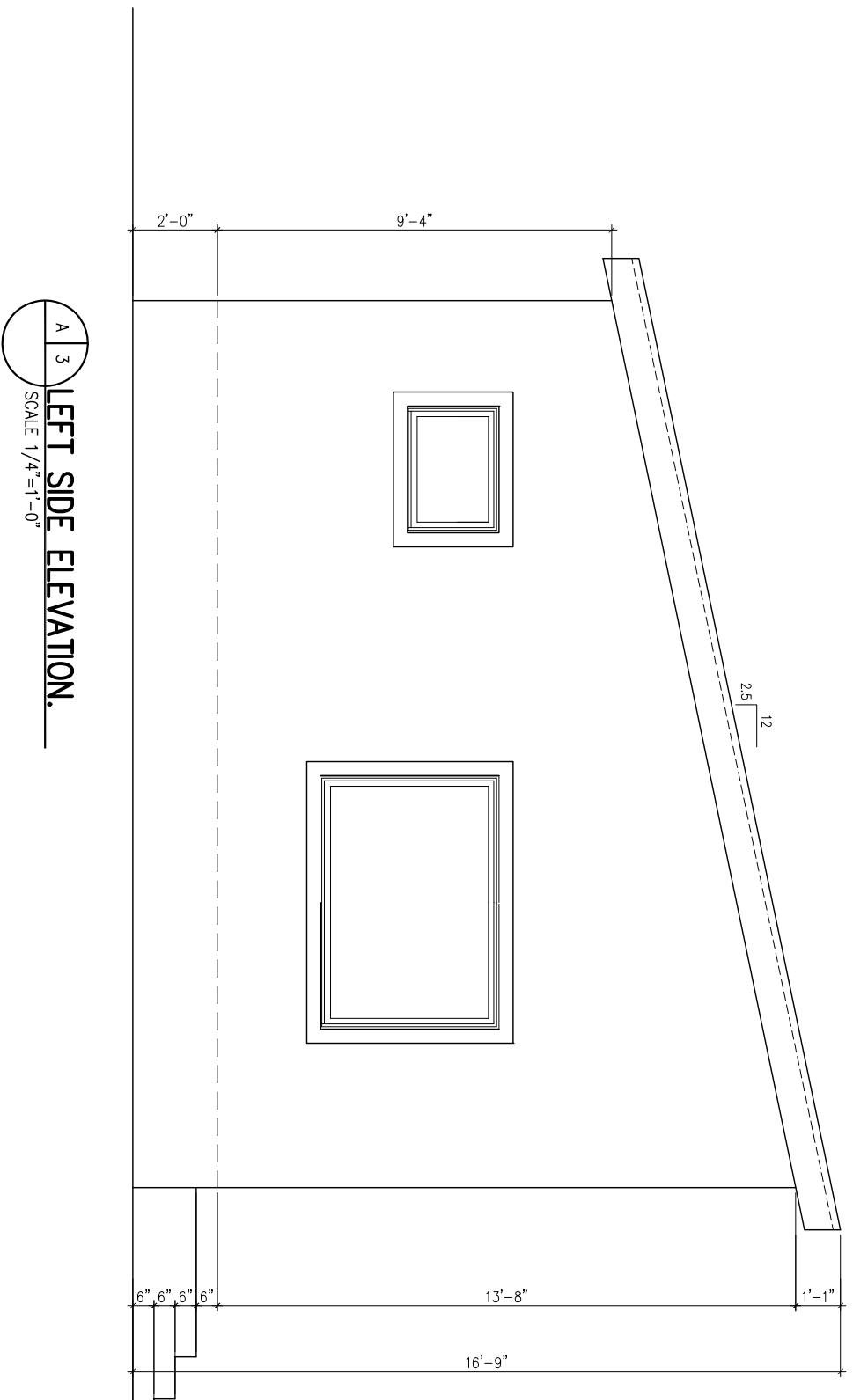
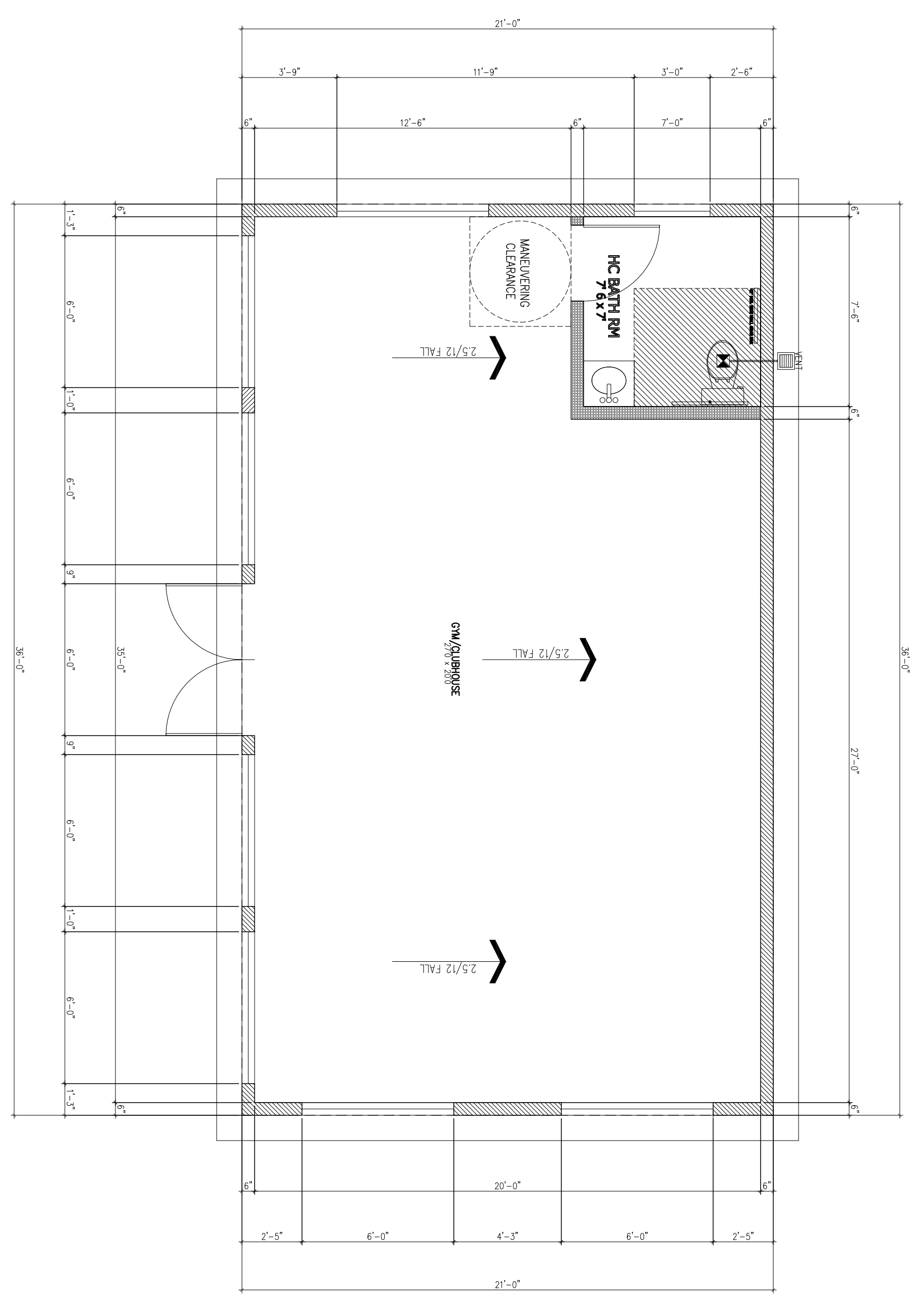
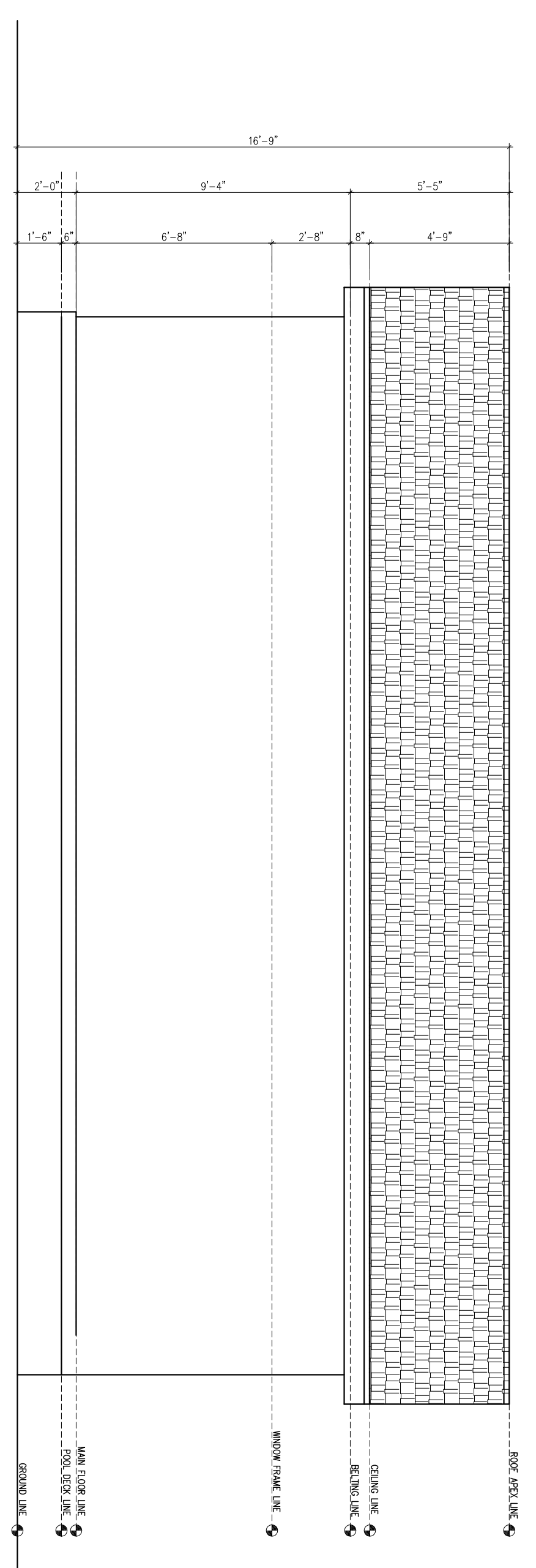
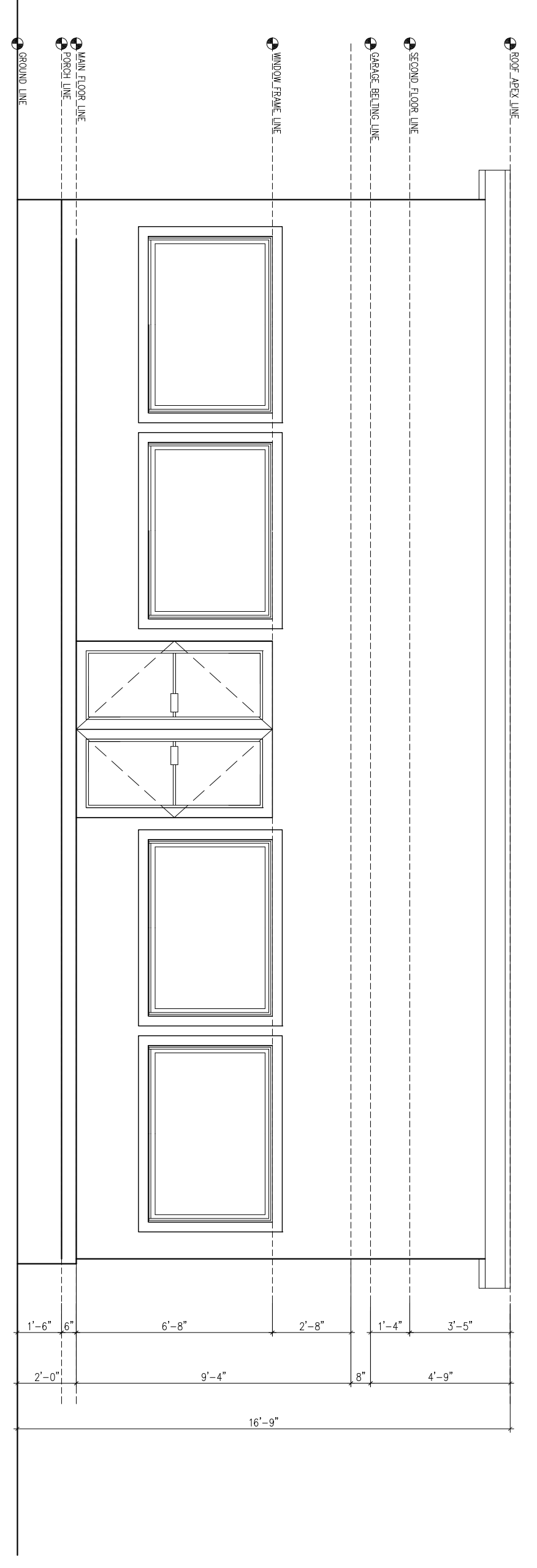


1.1 LEFT ELEVATION  
SCALE: 1/4" = 1'-0"

STAMPING AREA:

LIBRARY CENTER THAT ALL DIMENSIONS SHOWN ON THIS PLAN ARE CORRECT.  
 Signature: *Arnold T. Berry*  
 Address: 80, GRAND CAYMAN, KY-1401.

DATE:	PROJECT :	THIS DRAWING IS THE PROPERTY OF ISLAND DRAFTING ENGINEERING AND ARCHITECTURAL LTD. ANY USE AND / OR REPRODUCTION OF THESE DRAWINGS WITHOUT PRIOR WRITTEN PERMISSION FROM THE COMPANY IS ILLEGAL. ARCHITECTURAL DRAWINGS ARE TO BE READ ALONG WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND OTHER DRAWINGS AS MAY BE APPLICABLE. DIMENSIONS, LEVEL AND DATUMS GIVEN MUST BE VERIFIED BY THE CONTRACTOR BEFORE AND DURING CONSTRUCTION, AND ANY DISCREPANCIES NOTED ARE TO BE REPORTED TO THE COMPANY. DIMENSIONS SHOWN TAKE PRECEDENCE OVER SCALED DIMENSIONS.	<b>GENERAL NOTES</b> 1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE STARTING ANY WORK. 2. THE CONTRACTOR SHALL CONTACT THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK THAT MAY NOT BE CLEARLY INDICATED ON THE DRAWINGS. 3. ALL WORK SHALL BE DONE IN A MANNER TO MEET THE LOCAL REQUIREMENTS. 4. ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO PREVENT INJURY OR ACCIDENT TO ANYONE ON SITE. 5. ALL DRAWINGS MUST BE READ IN CONJUNCTION WITH EACH OTHER. 6. THE CONTRACTOR SHALL CHECK ALL DIMENSIONS BEFORE AND DURING CONSTRUCTION AND ANY DISCREPANCY FOUND MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY. 7. DIMENSIONS SHOWN MUST BE USED IN PREFERENCE TO SCALED DIMENSION. 8. ALL WINDOWS ADJACENT TO DOORS OR BATH TUBS SHALL BE TEMPERED SAFETY GLAZING AS PER SECTION 2405 OF LOCAL BUILDING CODE. 9. BEDROOM EGRESS WINDOWS SHALL BE USED WHERE APPLICABLE AND SHALL MEET MINIMUM CLEARANCES AS PER SECTION 1005.4 OF LOCAL BUILDING CODE.		CAYMAN BUSINESS PARK, BUILDING C UNIT C-2 <b>TELEPHONE: 949-2664</b> <b>FACSIMILE: 945-2179</b> E-MAIL: ISLDRAFT@CANDW.KY PO BOX 80, BODDEN TOWN	REVISIONS	BY
SCALE: AS SHOWN DRAWN: A. BERRY SHEET NO.: A-101 OF ARCHT. SHEETS	PROPOSED APARTMENTS/TOWNHOUSES FOR EMERALD POINT DEVELOPMENT LOCATED ON BLOCK 4E PARCEL #769, 770 & 771 (WEST BAY NORTH WEST). <b>SHEET CONTENT :</b> FRONT ELEVATION AND LEFT ELEVATION.						



**A.1 FLOOR PLAN**  
 SCALE 1/8"=1'-0"  
 SMOKE DETECTOR  
 FIRE EGRESS  
 EXHAUST FAN  
 SHEET GLASS

**STAMPING AREA:**

1. VERIFY CENTER THAT ALL DIMENSIONS SHOWN ON THIS PLANS ARE CORRECT.  
 Signature: \_\_\_\_\_  
 Address: 80, GRAND CAYMAN, KY-1-801L.

**DATE:** \_\_\_\_\_  
**SCALE:** AS SHOWN  
**DRAWN:** A. BERRYX  
**JOB NO.:** \_\_\_\_\_  
**SHEET NO.:** A-102  
**OF ARCHT. SHEETS**

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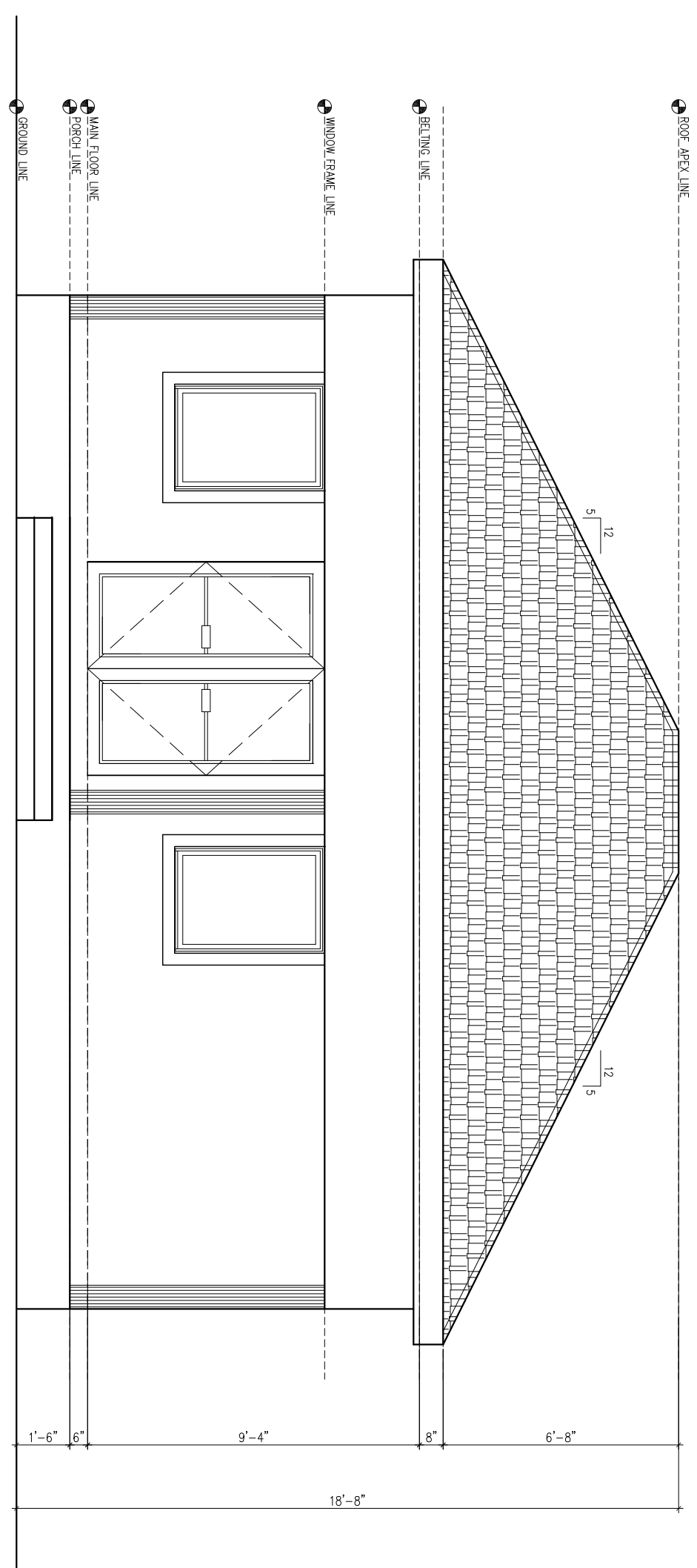
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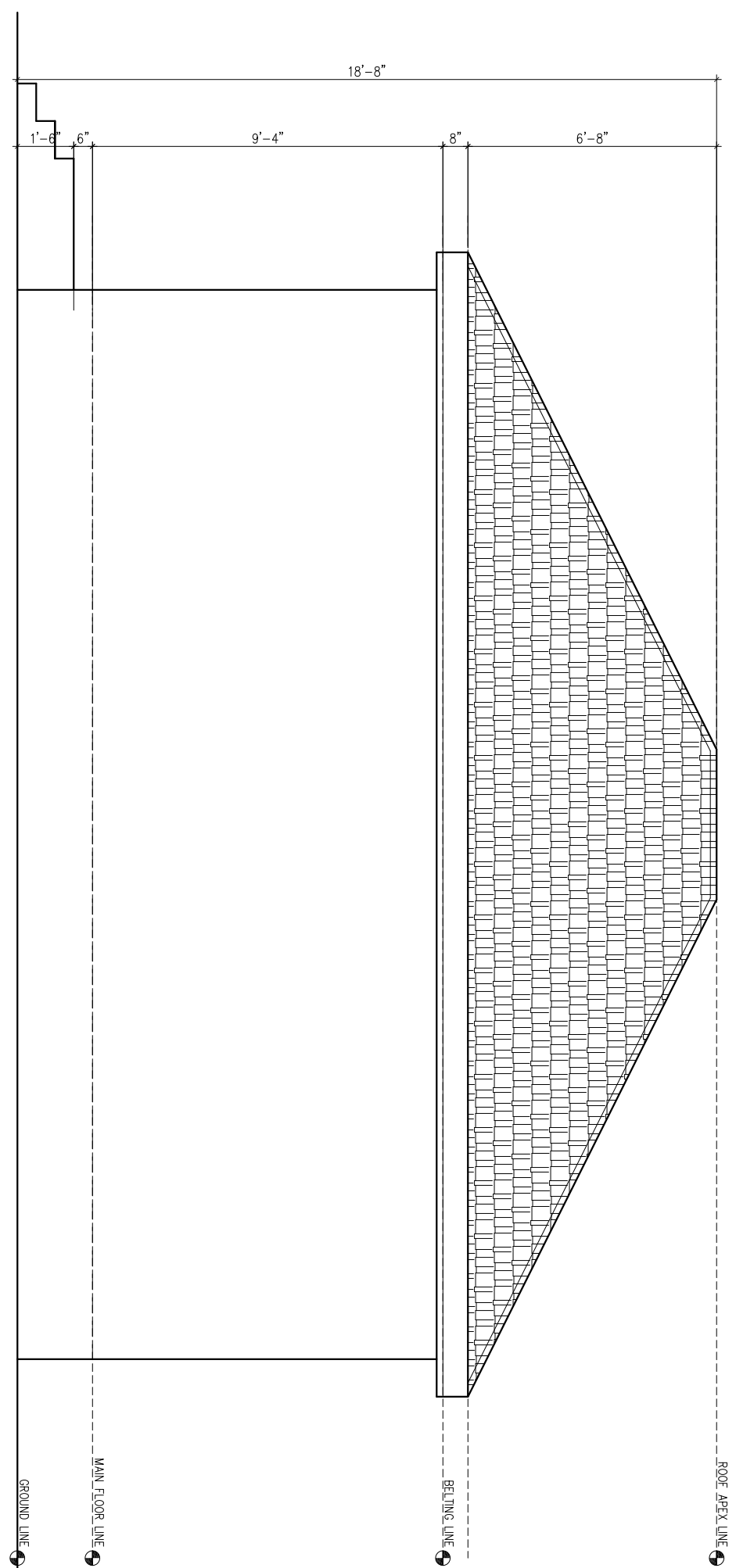
CAYMAN BUSINESS PARK, BUILDING C UNIT C-2  
**TELEPHONE: 949-2664**  
**FACSIMILE: 945-2179**  
 E-MAIL: ISLDRAFT@CANDW.KY  
 PO BOX 80, BODDEN TOWN

REVISIONS	BY

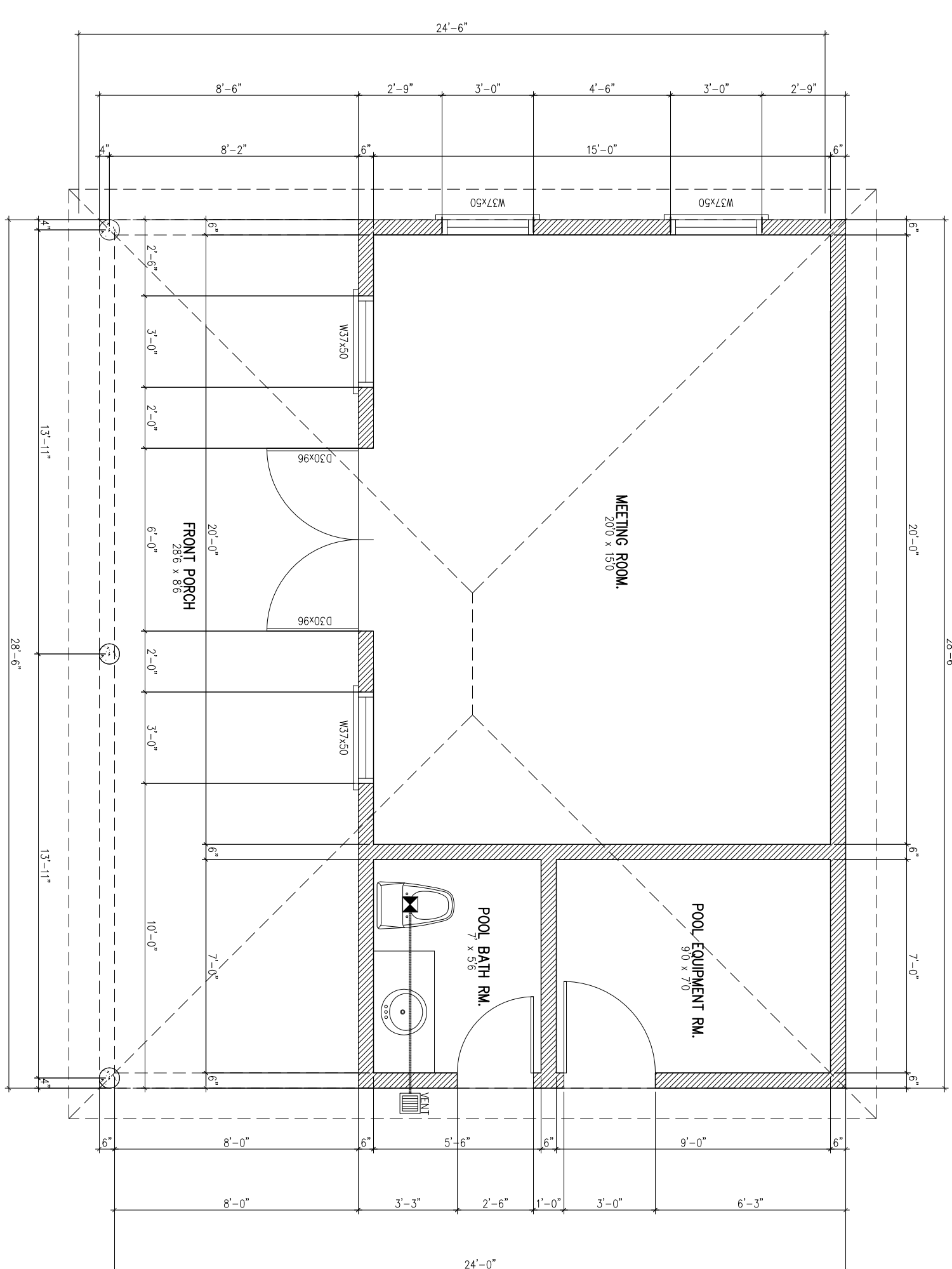




A-2 FRONT ELEVATION  
SCALE 1/4"=1'-0"

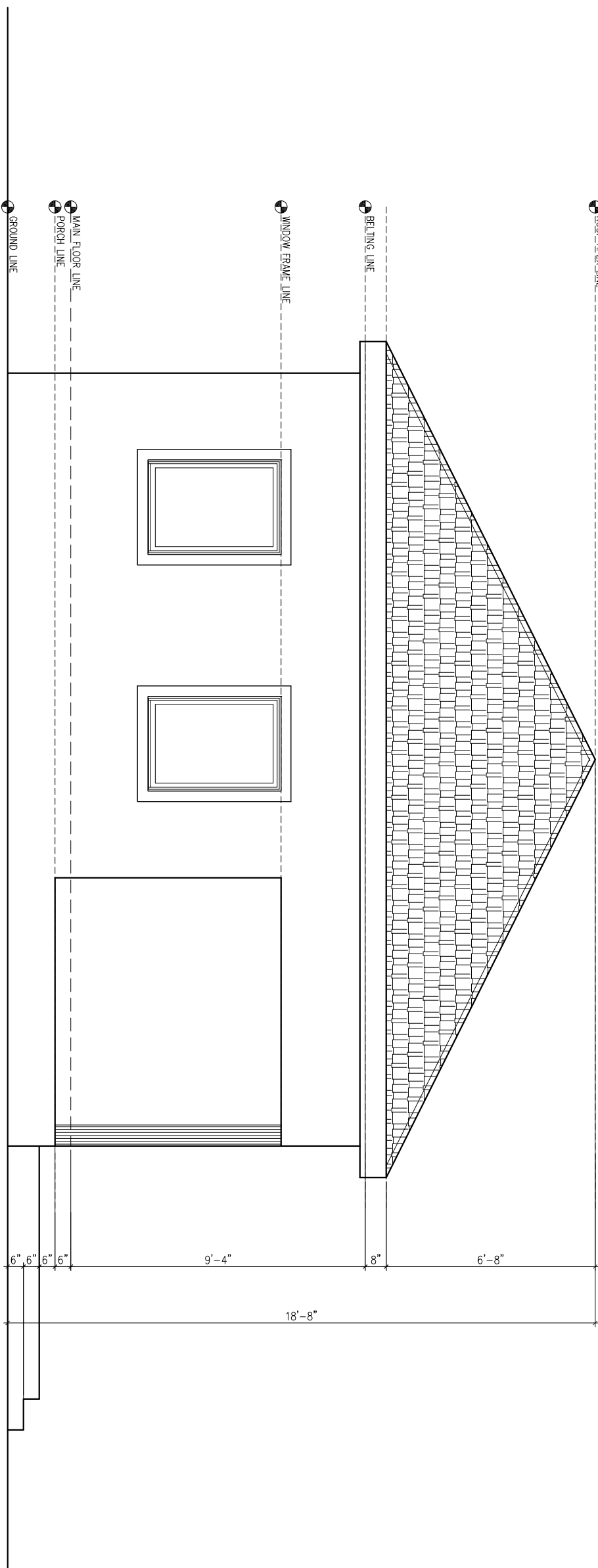


A-3 REAR ELEVATION  
SCALE 1/4"=1'-0"

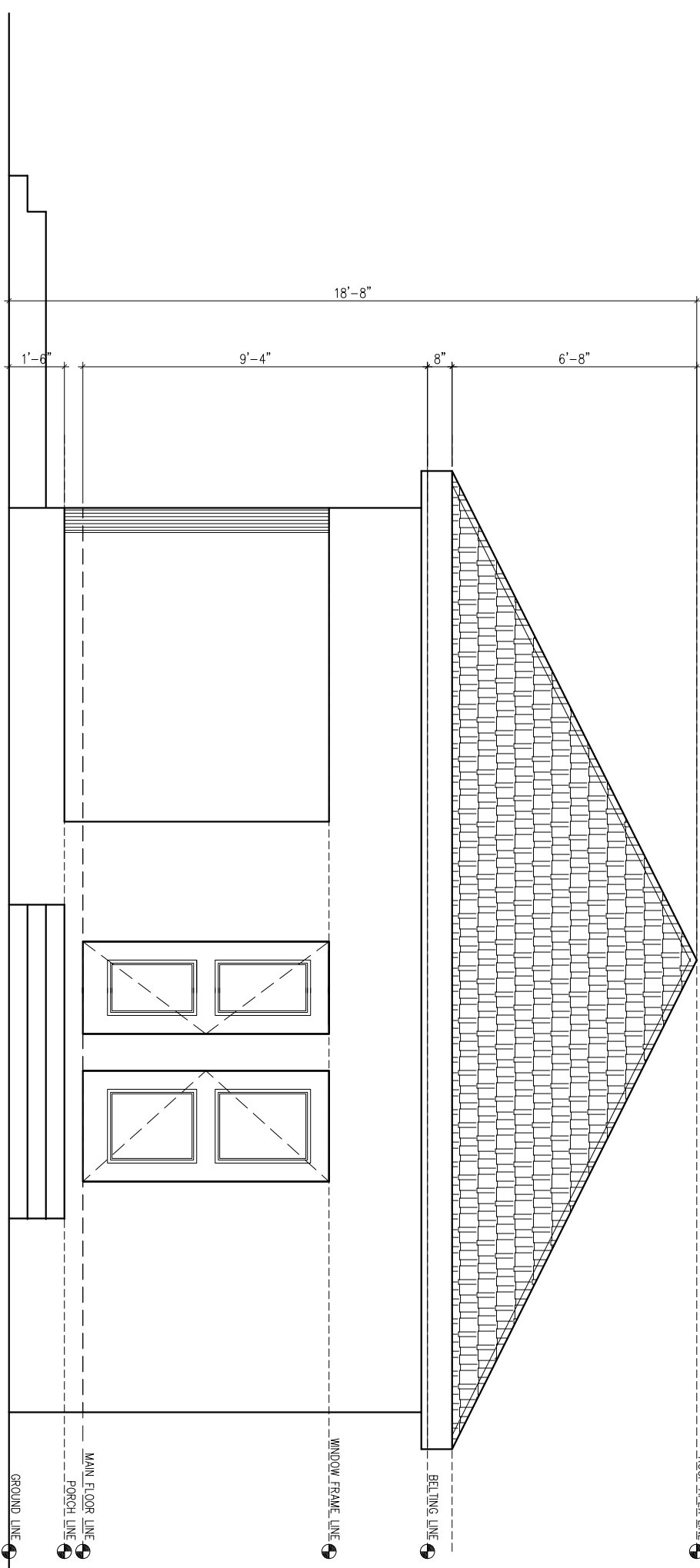


A-1 FLOOR PLAN  
SCALE 1/4"=1'-0"

- (FE) FIRE EGRESS
- (SD) SAFETY GLASS
- (SM) SMOKE DETECTOR
- (EF) EXHAUST FAN



A-4 LEFT SIDE ELEVATION  
SCALE 1/4"=1'-0"



A-5 RIGHT SIDE ELEVATION  
SCALE 1/4"=1'-0"

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1. BERBY GETTY/TAT ALL DIMENSIONS SHOWN ON THIS PLANS ARE CORRECT.  
Signature: Arnold T. Berby  
Address: 80, GRAND CAYMAN, KY-1-8011.

DATE: AS SHOWN  
SCALE: AS SHOWN  
DRAWN: A. BERBY  
JOB NO.:  
SHEET NO.: A-102  
OF ARCHT. SHEETS

PROJECT :  
PROPOSED APARTMENTS/TOWNHOUSES FOR EMERALD POINT DEVELOPMENT LOCATED ON BLOCK 4E PARCEL #769, 770 & 771 (WEST BAY NORTH WEST).

SHEET CONTENT :  
MEETING ROOM AND POOL EQUIPMENT PLAN. FLOOR PLAN.

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